

PROJECT TEAM

OWNER
CITY OF RANCHO MIRAGE
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Rancho Mirage, CA 92270
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42-600 Caroline Court, Suite 102
Palm Desert, CA 92211
Dave Calmer
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PROJECT LEAD & LANDSCAPE ARCHITECT
HERMANN DESIGN GROUP
77-899 Wolf Rd., Suite 102
Palm Desert, CA 92211
Chris Hermann, RLA/ASLA - Principal In Charge
Jose Estrada - Project Manager
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GEOTECHNICAL ENGINEERING
PETRA, INC.
3190 Airport Loop Drive, Suite J1
Costa Mesa, CA 92626
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ARCHITECT
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42-600 Caroline Ct., Suite 102
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ENVIRONMENTAL ENGINEERING
KUNZMAN ASSOCIATES, INC.
1111 Town & Country, Suite 34
Orange, CA 92868
William Kunzman, P.E.
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F: 714.973.8821

CIVIL ENGINEERING
THE ALTUM GROUP
73-710 Fred Waring Drive, Suite 219
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Michael Peroni, APA, AEP
James Bazua, P.E., RCE - Chief Engineer
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SPECIFICATIONS
SPECTECH
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Bermuda Dunes, CA 92203
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STRUCTURAL ENGINEERING
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75-175 Merle Drive, Suite 200
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ELECTRICAL ENGINEERING - PARK
MRC ENGINEERING, INC.
72-880 Fred Waring Drive, Suite C-11
Palm Desert, CA 92260
Victor Leon
T: 760.340.9005

UTILITY PURVEYORS

WATER:
Coachella Valley Water District
T: 760.398.2651

ELECTRICITY:
Southern California Edison
T: 800.684.8123

SEWER:
Coachella Valley Water District
T: 760.398.2651

TELEPHONE:
Verizon
T: 800.483.5000

GAS:
Southern California Gas Company
T: 800.427.2200

TRASH:
Burrtec Waste & Recycling Services
T: 760.340.2113

CABLE:
Time Warner Cable
T: 760.340.2225

UNDERGROUND UTILITY ALERT:
USA Dig Alert
T: 800.227.2600

REQUIRED SPECIAL INSPECTIONS

IN ADDITION TO REGULAR INSPECTIONS, THE FOLLOWING ITEMS WILL ALSO REQUIRE SPECIAL INSPECTION IN ACCORDANCE WITH CBC SECTION 1702:

- SOILS COMPLIANCE PRIOR TO FOUNDATION INSPECTION
- STRUCTURAL CONCRETE OVER 2,500 PSI
- FIELD WELDING
- HIGH STRENGTH BOLTS
- EXPANSION EPOXY ANCHORS
- STRUCTURAL MASONRY
- MOMENT FRAMES/CONNECTIONS

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE DESIGN-BUILD AND SHALL BE DEFERRED SUBMITTALS:

- FIRE ALARM SYSTEM
- FIRE SUPPRESSION SYSTEM

Documents for deferred submittal items must be reviewed by the registered design professional in responsible charge who will forward them to the Building Official with a notation indicating that they have been reviewed and are in general conformance with the design of the building. Deferred Submittal items shall not be installed prior to Building Official approval.

APPLICABLE MODEL CODES

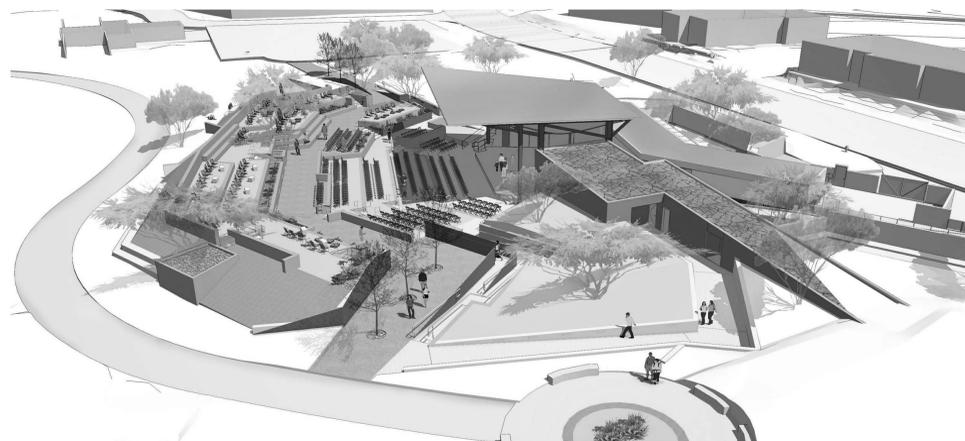
ALL CONSTRUCTION SHALL COMPLY WITH OR EXCEED THE FOLLOWING STANDARDS:

| | |
|--------------------------------------|------------------------|
| CALIFORNIA BUILDING CODE | 2010 EDITION |
| CALIFORNIA PLUMBING CODE | 2010 EDITION |
| CALIFORNIA MECHANICAL CODE | 2010 EDITION |
| CALIFORNIA ENERGY CODE | 2010 EDITION |
| CALIFORNIA ELECTRIC CODE | 2010 EDITION |
| CALIFORNIA FIRE CODE | 2010 EDITION |
| NFPA STANDARDS | as adopted by TITLE 24 |
| CITY OF RANCHO MIRAGE MUNICIPAL CODE | CURRENT EDITION |

RANCHO MIRAGE COMMUNITY PARK EXPANSION & AMPHITHEATER PROJECT

CP 12-284

71-560 San Jacinto Drive ~ Rancho Mirage, CA 92270



APPROVALS

- PRELIMINARY PLAN DEVELOPMENT (PDP)
Case No: PDPI3004
Approved by Rancho Mirage City Council October 17, 2013
- ENVIRONMENTAL ASSESSMENT
Case No: EA130005 "Rancho Mirage Community Park Expansion"
Mitigated Negative Declaration Adopted by Rancho Mirage City Council October 17, 2013

PROJECT DESCRIPTION

The City of Rancho Mirage is undertaking an expansion of the existing Rancho Mirage Community Park on approximately 3 acres adjacent to the present park. Existing recreational facilities will remain substantially in place. The expansion plans include a new amphitheater and pedestrian promenade, new play equipment in a new children's play area, a new grand arrival with drop-off and vehicular turn-around, exercise stations, pickle ball courts, site furnishings, and expanded parking facilities.

The amphitheater includes terrace seating areas, a covered performance platform, public restrooms, storage and back-of-house facilities.

On site landscape improvements include new trees lining the pedestrian promenade and framing the grand arrival, extensive new plant material, lawn, irrigation improvements and park monument signage at the new grand arrival. Off site landscape improvements for Burton Road and San Jacinto Drive include trees, shrubs, irrigation and decomposed granite.

PROJECT PLANNING & PERMIT NUMBERS

PLANNING APPLICATION NUMBER:

PDPI3004

CITY PROJECT NUMBER:

CP 12-284

PERMIT NUMBER:

B1301382

CITY OF RANCHO MIRAGE CONSTRUCTION NOTES

- The City of Rancho Mirage CONSTRUCTION HOURS:
Monday-Friday 7:00 AM - 7:00 PM
Saturday 8:00 AM - 5:00 PM
Sunday NOT PERMITTED
Government Holidays NOT PERMITTED
- All Contractors shall have a current valid City business license prior to permit issuance per Rancho Mirage Municipal Code.
- All Contractors and/or owner-builders must submit Certificate of Workers Compensation insurance coverage prior to the issuance of a building permit per California Labor Code section 1800.
- Contractor and/or Owner shall provide a trash bin to insure proper clean-up of all building materials per ordinance of the Rancho Mirage Municipal Code.
- Storage of building materials or debris shall be confined to the lot for which the permit is issued. Adjacent vacant properties may not be utilized for this purpose unless written permission of the Owner of the adjacent property is on file with the permitting authority. The public Right-of-Way shall be maintained in a clear condition at all times. Comply with the City of Rancho Mirage Municipal Code.



PROJECT DATA

ASSESSORS PARCEL NUMBERS:

| | |
|--------------|--|
| 684-181-012, | |
| 684-181-032, | |
| 684-181-033, | |
| 684-181-036, | |
| 684-181-037, | |
| 684-150-011, | |
| 684-150-016, | |
| 684-150-018, | |
| 684-150-025 | |

STREET ADDRESS: 71-560 San Jacinto Drive
Rancho Mirage, CA 92270

LEGAL DESCRIPTION: Lot/Parcel: A PORTION OF SECTION 12, T5S, R5E, S8M
Tract Number:
Records of Riverside County, CA

ZONING / LAND USE DESIGNATION: OS-PP
(Opens Space - Public Park)

SPECIFIC PLAN: Highway 111 East Specific Plan (District 6 & 8)

PROPOSED BUILDING SIZE:

| | |
|------------------------|------------|
| Enclosed Building: | 3,825 SF |
| Covered Platform: | 1,700 SF |
| LOT SIZE: | 9.98 Acres |
| LOT COVERAGE: | |
| New Structure: | 5,525 SF |
| Exist. Structures: | 2,739 SF |
| Total Bldg. Footprint: | 8,264 SF |
| Lot Coverage: | 1.78% |

PROPOSED BUILDING DESCRIPTION: New single story covered amphitheater platform with adjacent production support spaces. 4,970 SF of enclosed space.

EXISTING STRUCTURE(S) DESCRIPTION: Existing single story restroom/utility structure (existing to remain - no improvements); 1,869 SF
Existing historical stone residence (existing to remain - no improvements); 870 SF

| | |
|------|--|
| T | TITLE SHEET |
| G | GENERAL INFORMATION |
| G1.0 | GENERAL NOTES & CODE ANALYSIS |
| G1.1 | EXITTING PLAN - HOUSE SEATING |
| G1.2 | EXITTING PLAN - BACK-OF-HOUSE & PLATFORM |
| G1.3 | SIGNAGE PLAN & DETAILS |
| G2.0 | ADA BUILDING ACCESSIBILITY REQUIREMENTS |
| G2.1 | ADA SITE ACCESSIBILITY REQUIREMENTS |
| G2.2 | ADA PATH OF TRAVEL - SITE |

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|-----|--|
| C | CIVIL |
| C1 | TITLE SHEET |
| C2 | DEMOLITION SHEET |
| C3 | DEMOLITION SHEET |
| C4 | DEMOLITION SHEET |
| C5 | GRADING AND DRAINAGE SHEET |
| C6 | GRADING AND DRAINAGE SHEET |
| C7 | GRADING AND DRAINAGE SHEET |
| C8 | BUILDING GRADING & STORM DRAIN SHEET |
| C9 | BUILDING WALL SHEET |
| C10 | WATER, SEWER, STORM DRAIN, STRIPING & CURB CONTROL SHEET |
| C11 | WATER, STORM DRAIN, STRIPING & CURB CONTROL SHEET |
| C12 | DETAIL SHEET |

| | |
|------|-------------------------|
| L | LANDSCAPE |
| L-1 | TITLE SHEET |
| L-2 | CONSTRUCTION PLAN |
| L-3 | CONSTRUCTION PLAN |
| L-4 | CONSTRUCTION PLAN |
| L-5 | CONSTRUCTION DETAILS |
| L-6 | CONSTRUCTION DETAILS |
| L-7 | CONSTRUCTION DETAILS |
| L-8 | CONSTRUCTION DETAILS |
| L-9 | IRRIGATION PLAN |
| L-10 | IRRIGATION PLAN |
| L-11 | IRRIGATION PLAN |
| L-12 | IRRIGATION DETAILS |
| L-13 | TREE STUMP REMOVAL PLAN |
| L-14 | PLANTING PLAN |
| L-15 | PLANTING PLAN |
| L-16 | PLANTING PLAN |
| L-17 | PLANTING DETAILS |

| | |
|------|------------------------|
| LE | LANDSCAPE ELECTRICAL |
| LE-1 | ELECTRICAL SITE PLAN |
| LE-2 | SITE PHOTOMETRICS PLAN |
| LE-3 | ELECTRICAL DETAILS |
| LE-4 | ELECTRICAL DETAILS |
| LE-5 | TITLE 24 |

| | |
|-------|------------------------------|
| A | ARCHITECTURAL |
| A1.0 | AMPHITHEATER SITE PLAN |
| A1.1 | AMPHITHEATER PLAN |
| A2.0 | HOUSE SEATING PLAN |
| A2.1 | HOUSE SEATING DIMENSION PLAN |
| A2.2 | STAIR & RAMP PLANS |
| A2.3 | STAIR SECTIONS |
| A2.4 | RAMP & SITE WALL ELEVATIONS |
| A2.5 | SITE DETAILS |
| A2.6 | SITE DETAILS |
| A2.7 | SITE DETAILS & SITE SECTION |
| A2.8 | SITE LIGHTING PLAN |
| A2.9 | BACK-OF-HOUSE SITE LIGHTING |
| A3.0 | BACK-OF-HOUSE FLOOR PLAN |
| A3.1 | SLAB PLAN |
| A3.2 | BACK-OF-HOUSE DIMENSION PLAN |
| A3.3 | ENLARGED PLANS - PUBLIC RR |
| A3.4 | ENLARGED PLANS - PR RR |
| A3.5 | REFLECTED CEILING PLAN |
| A3.6 | REFLECTED CANOPY PLAN |
| A3.7 | CANOPY SECTIONS & DETAILS |
| A3.8 | CANOPY BULKHEAD |
| A3.9 | CANOPY SECTIONS |
| A3.10 | ROOF PLAN |
| A4.0 | BUILDING SECTIONS |
| A4.1 | BUILDING SECTIONS - BOH |
| A4.2 | BUILDING SECTIONS - BOH |
| A4.3 | GREEN ROOM PATIO SECTIONS |
| A4.4 | WALL SECTIONS |
| A4.5 | WALL SECTIONS |
| A5.0 | EXTERIOR CARDINAL ELEVATIONS |
| A5.1 | EXTERIOR ELEVATIONS |
| A5.2 | EXTERIOR ELEVATIONS |
| A5.3 | EXTERIOR ELEVATIONS |
| A6.0 | INTERIOR ELEVATIONS |
| A6.1 | INTERIOR ELEVATIONS |
| A6.2 | INTERIOR ELEVATIONS |
| A6.3 | INTERIOR ELEVATIONS |
| A7.0 | SCHEDULES |
| A8.0 | BUILDING DETAILS |
| A8.1 | ROOF DETAILS |
| A8.2 | PIVOT DOOR DETAILS |

PARKING ANALYSIS:

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|----------------------------|----|
| PROVIDED PARKING: | |
| Existing Typical Spaces | 65 |
| Existing Accessible Spaces | 4 |
| TOTAL EXISTING SPACES | 69 |

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| Existing Typical Spaces to be removed | -10 |
| Existing Accessible Spaces to be removed | -3 |
| TOTAL SPACES TO BE REMOVED | -13 |

| | |
|--|-----|
| New Typical Spaces to be Added | +53 |
| New Accessible Spaces to be Added | +7 |
| TOTAL NEW SPACES | +60 |
| TOTAL Typical Spaces Provided | 108 |
| TOTAL Accessible Spaces Provided (7 ADA Spaces + 1 Van Accessible) | 8 |
| TOTAL PARKING SPACES PROVIDED | 116 |

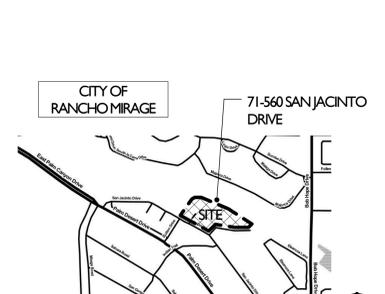
NEW SPACES: PER APPROVED PDP & EA

Off-site/shared parking arrangements are presently used for special events hosted in the Park. These arrangements will continue to support the parking demand for special events and large events hosted at the proposed amphitheater.

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|----|-----------------|
| M | MECHANICAL |
| M1 | TITLE SHEET |
| M2 | MECHANICAL PLAN |

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|------|----------------------|
| P | PLUMBING |
| P1.0 | TITLE SHEET |
| P2 | PLUMBING PLAN |
| P3 | FIXTURE SCHEDULE |
| P3.1 | DETAILS AND DIAGRAMS |
| P3.2 | ISOMETRIC DIAGRAMS |

| | |
|------|--|
| E | ELECTRICAL |
| E1.0 | TITLE SHEET - NOTES, LEGEND, LOAD CALCULATIONS |
| E1.1 | SPECIFICATIONS (ALSO SEE SPECIFICATIONS BOOK) |
| E1.2 | FIXTURE AND DEVICE SCHEDULES |
| E2.0 | LIGHTING PLAN |
| E2.1 | POWER & COMMUNICATIONS |
| E2.2 | AMPHITHEATER SEATING AREA & ELECTRICAL PLAN |
| E3.0 | SLD AND SERVICE |
| E3.1 | PANEL SCHEDULES |
| E3.2 | DETAILS AND DIAGRAMS |
| E3.3 | DETAILS AND DIAGRAMS |



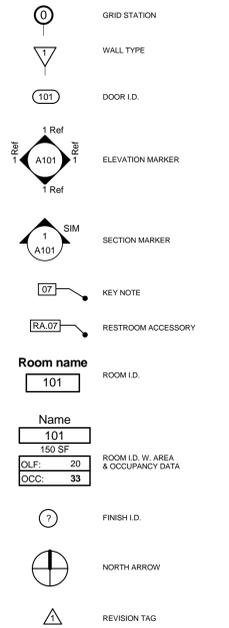
VICINITY MAP

SHEET TITLE: TITLE SHEET

SHEET NUMBER:



SYMBOL LEGEND



ABBREVIATIONS

| | | | |
|--------|----------------------------|---------|------------------------------|
| AFF | Alcove Finish Floor | LS | Laundry Sink |
| AC | Air Conditioning Condenser | LAV | Lavatory |
| AB | Anchor Bolts | LT WGT | Light Weight |
| ARCH | Architectural | LN | Lined Closet |
| AWN | Awning | MFR | Manufacturer |
| BM | Beam | MAN | Manicure |
| BLKG | Bleeking | MECH | Mechanical |
| BR | Broom Closet | MCMC/MC | Medicine Cabinet/Mirror/wave |
| BLDGS | Building | MIN | Minimum |
| CAB | Cabinet | MIR | Mirror |
| CRPT | Carpet | NAP | Napkin Receptacle |
| CLS | Ceiling | (N) | New |
| CL | Center Line | NOM | Nominal |
| CT | Ceramic Tile | NIC | Not in Contract |
| C/O | Clean Out | NIS | Not To Scale |
| CLR | Clear | OBSC | Obscure |
| CLD | Closet | OC | On Center |
| CW | Cold Water | OPB | Opening |
| CONC | Concrete | OPP | Opposite |
| CMU | Concrete Masonry Units | PTD | Pointed |
| CONT | Continuous | PR | Pair |
| CJ | Control Joint | P | Pantry |
| DTL | Detail | PTD | Paper Towel Dispenser |
| DIA | Diameter | PL | Plate |
| DIM | Dimension | P.O.C. | Point of Connection |
| DW | Dishwasher | PV | Pressure Indicator Valve |
| DN | Down | PTDF | Pressure Treated Douglas Fir |
| DS | Downspout | RAD | Radius |
| DWG | Drawing | HD | Range Hood |
| DF | Drinking Fountain | R/O | Range/ Oven |
| DRY | Dryer | REL | Reference |
| EA | Each | REF | Refrigerator |
| ELEC | Electrical | (R) | Remove |
| EM | Electrical Meter | REQD | Required |
| EP | Electrical Panel | RAB | Return Air Grill |
| ELEV | Elevation | R | Riser |
| EMB | Embed | RH | Roof Hook |
| EQUIP | Equipment | RD | Roof Drain |
| (E) | Existing | RM | Room |
| EJ | Expansion Joint | RO | Rough Opening |
| FOC | Face of Concrete | SCH | Schedule |
| FOF | Face of Finish | SCD | Seat Cover Dispenser |
| FOB | Face of Block | SHLF | Shelf |
| FCU | Faucet | SP | Shelf and Pole |
| FDC | Fire Dept. Connection | SHW | Shower |
| FE | Fire Extinguisher | SIM | Similar |
| FI | Fire Hydrant | SD | Soap Dispenser |
| FR | Fire Retardant | SG | Solid Core |
| FSH | Fire Sprinkler Head | SPEC | Specifications |
| FBR | Fire Sprinkler Riser | SQ | Square |
| FLR | Floor | SF | Square Feet |
| FD | Floor Drain | SS | Stainless Steel |
| FAU | Forced Air Unit | STD | Standard |
| GI | Galvanized Iron | STL | Steel |
| GD | Garbage Disposal | STR | Structural |
| GA | Gauge or Gage | THK | Thick |
| GC | General Contractor | TP | Toilet Paper |
| GB36 | Grab Bar 24" Long | T & B | Top + Bottom |
| GYP BD | Gypsum Board | TOB | Top of Beam |
| HC | Hand Cap | TOC | Top of Concrete |
| HDW | Hardware | TOP | Top of Parapet |
| HGT | Height | T.O.S. | Top of Sheathing |
| HM | Hollow Metal | TOW | Top of Wall |
| HRZ | Horizontal | TWB | Towel Bar 24" Long |
| HS | Hose Strip | TD | Towel Dispenser |
| HW | Hot Water | TRASH | Trash Enclosure |
| INSUL | Insulation | TR | Trash Receptacle |
| INT | Interior | T | Thread |
| JST | Joint | T/SH | Tub Shower Combination |
| K/S | Kitchen Sink | | |

GENERAL NOTES

- The General Contractor shall furnish all materials, labor, equipment, transportation and services necessary for the satisfactory completion of the Work unless designated specifically otherwise. Work shown in these drawings designated Not In Contract (N.I.C.) is shown for informational purposes only and is NOT the responsibility of the General Contractor. All equipment, work, and materials shall comply with all current applicable model codes, local municipal codes, ordinances, and governing regulations, and the Contract Documents.
- The Contractor shall coordinate the installation of the various trade items within the space above all ceilings (including, but not limited to: structural members, mechanical ducts and insulation, conduits, raceways, sprinkler systems, light fixtures, ceiling systems, and any special structural supports required) and shall be responsible for maintaining the finish ceiling height indicated in the Drawings and the Finish Schedule. Ceiling heights dimensions are to the finish surface of the ceiling unless noted otherwise.
- Access panels shall be provided and installed wherever required by the Building Code or for the proper operation or maintenance of mechanical, electrical or other concealed equipment, whether or not indicated on the Drawings. The General Contractor shall coordinate the size, location, and type of access panel(s) with other Subcontractors' work and with the Architect prior to installation of any access panels.
- When it is necessary to interrupt any existing utility service(s) to make connections and/or corrections, a minimum of 48 hours advanced notice shall be given to the Owner. Interruptions in utility services shall be of the shortest possible duration for the Work at hand and shall be approved in advance by the Owner.
- In the event the utility service is interrupted without the required 48 hour advanced notice, then the General Contractor shall be financially liable for all damages suffered by the Owner due to unauthorized interruption. Reconnection shall be made immediately.
- Final Clean-Up and Disposal: The General Contractor shall remove debris, rubbish and waste material from the Owner's property and common areas to a lawful disposal area and pay all hauling and dumping costs. The General Contractor shall conform to pertinent Federal, State, and Local laws, regulations and orders upon completion of Work. All construction areas shall be left vacuum-clean and free from debris. Clean all dust, dirt, stains, hand marks, paint spots, droppings and other blemishes.
- The General Contractor shall exercise extreme caution during the construction period to protect existing buildings and facilities indicated to remain including the exterior and interior finishes, furniture and equipment.
- The General Contractor to provide approved temporary sanitary facilities (IE chemical toilets) on the construction site prior to commencement of the Work.
- The General Contractor shall have sole control over and charge of and responsibility for construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.
- The Architect shall not be responsible for the Contractor's failure to carry out the Work in accordance with the Contract Documents.
- The Architect shall have authority to reject Work that does not conform to the Contract Documents.
- If concealed or unknown physical conditions are encountered at the site that differ materially from those indicated in the Contract Documents or from those conditions ordinarily found to exist, these conditions shall be brought to the attention of the Architect and the Owner prior to continuing with the Work.
- Structures in the course of construction, alteration or demolition shall comply with Chapter 14 of the 2010 California Fire Code and NFPA 241.

PROJECT NOTES

These Project Notes are not all-inclusive and DO NOT relieve the Contractor(s) on this Project of their responsibility to review all relevant codes. The Contractor shall ask questions, call to the attention of the Architect and Owner any and all discrepancies, omissions and errors in these documents.

INSPECTIONS

- The Contractor shall be responsible to make application for, secure and pay for all permits and fees required by the various permitting agencies and utility purveyors. Unless otherwise specified in writing by the owner.
- The Contractor shall be responsible to schedule all inspections. Normal inspections by the building, engineering, fire and other permitting agency departments shall be conducted as required by those respective agencies. All re-inspection fees shall be paid by the contractor.

CONSTRUCTION DOCUMENTS

- Contract Drawings and Specifications are mutually inclusive and what is required by one is required by the other. There is no precedence intended or implied between Drawings and Specifications and, in the event of a conflict, the Architect shall be their interpreter. Any work installed prior to and/or in conflict with such interpretation shall be corrected by the Contractor at the Contractor's expense and at no additional cost to the Owner.
- In no case shall dimensions be scaled from Drawings. The Contractor shall verify all conditions and dimensions in the field before proceeding with subsequent work. Any discrepancies between conditions indicated and actual field conditions shall be brought to the attention of the Architect for clarification prior to proceeding. Any work installed prior to and/or in conflict with such clarification shall be corrected by the Contractor at the Contractor's expense and at no additional cost to the Owner.
- All dimensions are to face of stud or centerline of walls, columns and beams unless otherwise noted. Floor elevations are to top of concrete slab unless otherwise noted.
- All symbols and abbreviations used on the Drawings are considered to be construction standards. Any questions regarding the exact meaning of a symbol or abbreviation shall be brought to the attention of the Architect for clarification.
- Details marked "TYPICAL" shall apply in reasonably inferable similar conditions unless indicated otherwise.
- Notes contained within these documents which use the words "PROVIDE" or "INSTALL" shall be interpreted to mean "THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL" unless noted otherwise.
- The Specifications and ALL Consultant Drawings are supplemental to the Architectural Drawings. It shall be the Contractor's responsibility to coordinate with the Architectural Drawings before the installation of any of the Consultant's work and to bring any discrepancies or conflicts to the attention of the Architect in writing for clarification. Improperly installed work shall be corrected by the General Contractor at the General Contractor's expense and at no expense to the Architect, the Architect's Consultants, or the Owner.
- The General Contractor and the General Contractor's Subcontractors are responsible for reviewing, bidding, coordinating and performing their work based on the ENTIRE set of Contract Documents. Improperly installed work or contract requirements identified by these Documents excluded by the Contractor without prior written approval of the Architect shall be corrected by the General Contractor at the General Contractor's expense and at no expense to the Architect, his Consultants, or the Owner.
- Any Work installed in conflict with the Contract Documents shall be corrected by the Contractor at the Contractor's expense and at no additional expense to the Owner, the Architect, or the Architect's Consultants.
- Drawings of existing conditions have been compiled from existing data supplied by the Owner to the Architect. The Architect makes no warranty either expressed or implied for the accuracy or completeness of the existing information recorded. The General Contractor shall field verify ALL existing conditions. The General Contractor shall notify in writing any discrepancies for clarification prior to proceeding with work.

BUILDING AREA MODIFICATION CALCULATION

FRONTAGE INCREASE CALCULATION
 $Lf = [F/P - 0.25]W/30$
 $F = 220 LF$
 $P = 482 LF$
 $W > 30 FT$ All Directions
 $Lf = [220LF/482 LF - 0.25]30/30$
 $Lf = 0.21$

AUTOMATIC SPRINKLER SYSTEM INCREASE
 $A.t = 5,500 SF$
 $l.s = 3$

BUILDING AREA MODIFICATION
 $A.a = (A.t + [A.l \times l.f]) + [A.l \times l.s]$
 $A.a = [5,500 SF + [5,500 \times 0.21] + [5,500 \times 3]]$
 $A.a = 23,155 SF$ total allowable building area

CODE ANALYSIS

AMPHITHEATER CODE ANALYSIS

01. BUILDING OCCUPANCY & CONSTRUCTION TYPE

Occupancy - *CBC Chapter 3*
 Group A-1

Construction Type - *CBC Table 601*
 Type V-B

Fire-Resistance Rating Requirements for Building Elements (Hours) - *CBC Table 601*

| | |
|---|------|
| Primary Structural Frame: | 0 HR |
| Bearing Walls - Exterior: | 0 HR |
| Bearing Walls - Interior: | 0 HR |
| Nonbearing Walls & Partitions Exterior: | 0 HR |
| Nonbearing Walls & Partitions Interior: | 0 HR |
| Floor Construction & Secondary Members: | 0 HR |
| Roof Construction & Secondary Members: | 0 HR |

Roof Covering Classification - *CBC Table 1505.1*
 Class - A roof provided

02. FIRE SUPPRESSION REQUIREMENTS

Fire Suppression System Requirement - *CBC Section 903, Table 903.2.11.6, Section 410.6*
 Automatic Sprinkler System to be provided & buildings fully sprinklered

03. BUILDING SITING

Number of Buildings on Site - *CBC Section 503.1.2*
 There will be a total of 3 building on the site;
 Two buildings are existing (historic stone structure, restroom/utility building)
 Amphitheater platform & support spaces will be the third building

Fire-Resistance Rating Requirement - Exterior Walls (Fire Separation Distance)
CBC Table 602
 $X > 30 FT$ between all buildings & property line = 0 HR Fire Resistance Required

Exterior Wall Opening Protection Requirements (Fire Separation Distance + Protection)
CBC Table 705.6
 $X > 30 FT + (UP, S)$ Protection = Not Required

Building Area Modifications - *CBC Section 506*

Frontage Increase
 Automatic Sprinkler System Increase
 SEE CALCULATIONS ABOVE

04. CONSTRUCTION TYPE & ALLOWABLE SIZE

Allowable Building Height - *CBC Table 503*

A-1, Type V-B
 Allowable Height: 40 FT (1-story); Actual Height: 27'-8" (1-Story) (Platform to Canopy)

Allowable Building Floor Area - *CBC Table 503*

A-1, Type V-B
 Base Allowable Floor Area: 5,500 SF;
 Adjusted Allowable Floor Area: 23,155 SF (see calculations above)
 Actual Floor Area: 5,525 SF (Including Platform)

05. SPECIAL OCCUPANCY REQUIREMENTS

Special Detailed Requirements Based on Use & Occupancy - *CBC Section 410*
 Per definition, the performance area is classified as a PERMANENT PLATFORM.

CBC 410.4 Platform Construction - Platform is to be constructed of concrete and is non-combustible; there is no storage area beneath.

410.5 Dressing & Appurtenant Rooms:

410.5.1 Separation from Stage - Stage Height <50 FT = 1 HR separation (See Exiting Plans)

410.5.2 Separation from each other - 1 HR fire barriers required between appurtenant rooms as listed in this section; (see Exiting Plans for fire barrier location)

410.5.3 Stage Exits - See Exiting Plans for Platform exiting

06. FIRE & SMOKE PROTECTIVE ELEMENTS

Fire Barriers - *CBC Section 707*
 1-HR Fire Barriers as required by CBC410.5

Penetrations - *CBC Section 713*

Project to comply with provisions of this section at fire-resistance-rated wall assemblies

Opening Protectives - *CBC Section 715, Table 715.4*
 Exterior Walls - 1 HR Required Assembly Rating = 3/4 Fire Door
 Fire-resistance-rated glazing to be provided at glass transoms - where occurs.

07. ADDITIONAL FIRE PROTECTION SYSTEMS

Fire Alarm & Detection Systems - *CBC Section 907.2.1*
 Occupant Load >300 people = Provide a manual fire alarm system that activates an occupant notification system

Initiating Devices - *CBC Section 907.4*

Provide manual fire alarm boxes and smoke detectors as required per this Section

Occupant Notification Systems - *CBC Section 907.5*

Provide a fire alarm system and alarm notification appliances as required per this Section

08. INTERIOR FINISH MATERIALS

Interior Wall & Ceiling Finish Requirements by Occupancy - *CBC Table 803.9*
 Occupancy Group A-1 + Sprinklered:

Exit Enclosures & Exit Passageways: NA to this Project
 Corridors: NA to this Project
 Rooms & Enclosed Spaces: C

Interior Floor Finish - *CBC Section 804*

Minimum critical radiant flux: Class II materials required.

09. EGRESS SYSTEMS

Occupant Load - *CBC Section 1004 & Table 1004.1.1*

Refer to Exiting Plans for Occupant Load Calculations

Means of Egress - *CBC Chapter 10*

Refer to Exiting Plans for compliance with Means of Egress requirements

10. SPECIAL USE REQUIREMENTS

Refer to 05. Special Occupancy Requirements above

11. SITE & BUILDING ACCESSIBILITY REQUIREMENTS

Site & Building Accessibility - *CBC Chapter 11B*
 Refer to ADA Accessibility plans G1.4, G2.0, G2.1, G2.2, A1.1, A3.3, A3.4

12. MISCELLANEOUS PROVISIONS

Plumbing Fixtures - *CPC Table 4-1, A*

Plumbing Fixtures Required - Amphitheater Audience:

Amphitheater Audience: 9852 SF / 15 SF/p. = 640 p. (320 male + 320 female)

Male: (3) Water Closets; (3) Urinals; (2) Lavatories
 Female: (11) Water Closets; (2) Lavatories
 Drinking Fountains: (3)

Plumbing Fixtures Provided:

Existing Restrooms:
 Male: (2) Water Closets; (3) Urinals; (3) Lavatories
 Female: (5) Water Closets; (3) Lavatories
 Drinking Fountains: (2)

New Restrooms at Amphitheater:

Male: (3) Water Closets; (2) Urinals; (2) Lavatories
 Female: (7) Water Closets; (2) Lavatories
 Drinking Fountains: (2)

TOTAL Public Restrooms:

Male: (5) Water Closets; (5) Urinals; (5) Lavatories
 Female: (12) Water Closets; (5) Lavatories
 Drinking Fountains: (4)

Plumbing Fixtures Required - Amphitheater Back-of-House:

Back-of-House: 2,509 SF / 30 SF/p. = 84 p. (42 male + 42 female)
 Male: (3) Water Closets; (1) Urinals; (2) Lavatories
 Female: (4) Water Closets; (2) Lavatories
 Drinking Fountains: N/A

Plumbing Fixtures Provided - Amphitheater Back-of-House

Male: (3) Water Closets; (1) Urinals; (3) Lavatories
 Female: (4) Water Closets; (3) Lavatories
 Drinking Fountains: (2)
 Showers: (1) Male; (1) Female (Principal Dressing Rooms)



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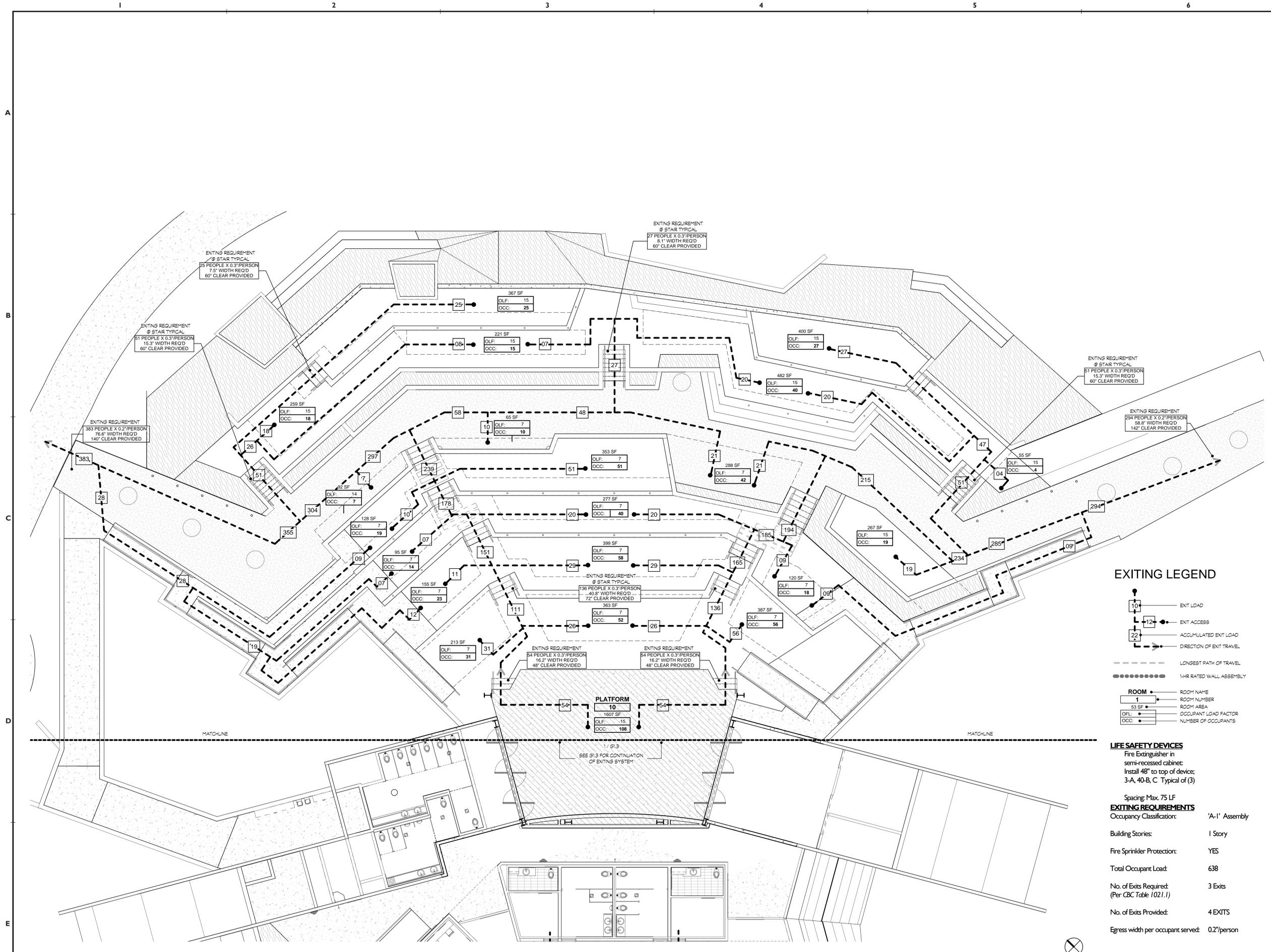
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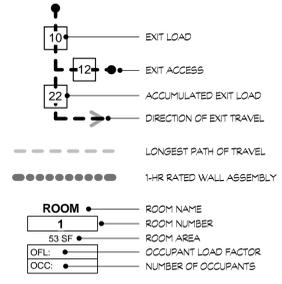
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EXITING LEGEND



LIFE SAFETY DEVICES

Fire Extinguisher in semi-recessed cabinet; Install 48" to top of device; 3-A, 40-B, C Typical of (3)

Spacing: Max. 75 LF

EXITING REQUIREMENTS

| | |
|---|----------------|
| Occupancy Classification: | 'A-1' Assembly |
| Building Stories: | 1 Story |
| Fire Sprinkler Protection: | YES |
| Total Occupant Load: | 638 |
| No. of Exits Required: (Per CBC Table 1021.1) | 3 Exits |
| No. of Exits Provided: | 4 EXITS |
| Egress width per occupant served: | 0.27/person |

1 SEATING EXITING PLAN
1/8" = 1'-0"



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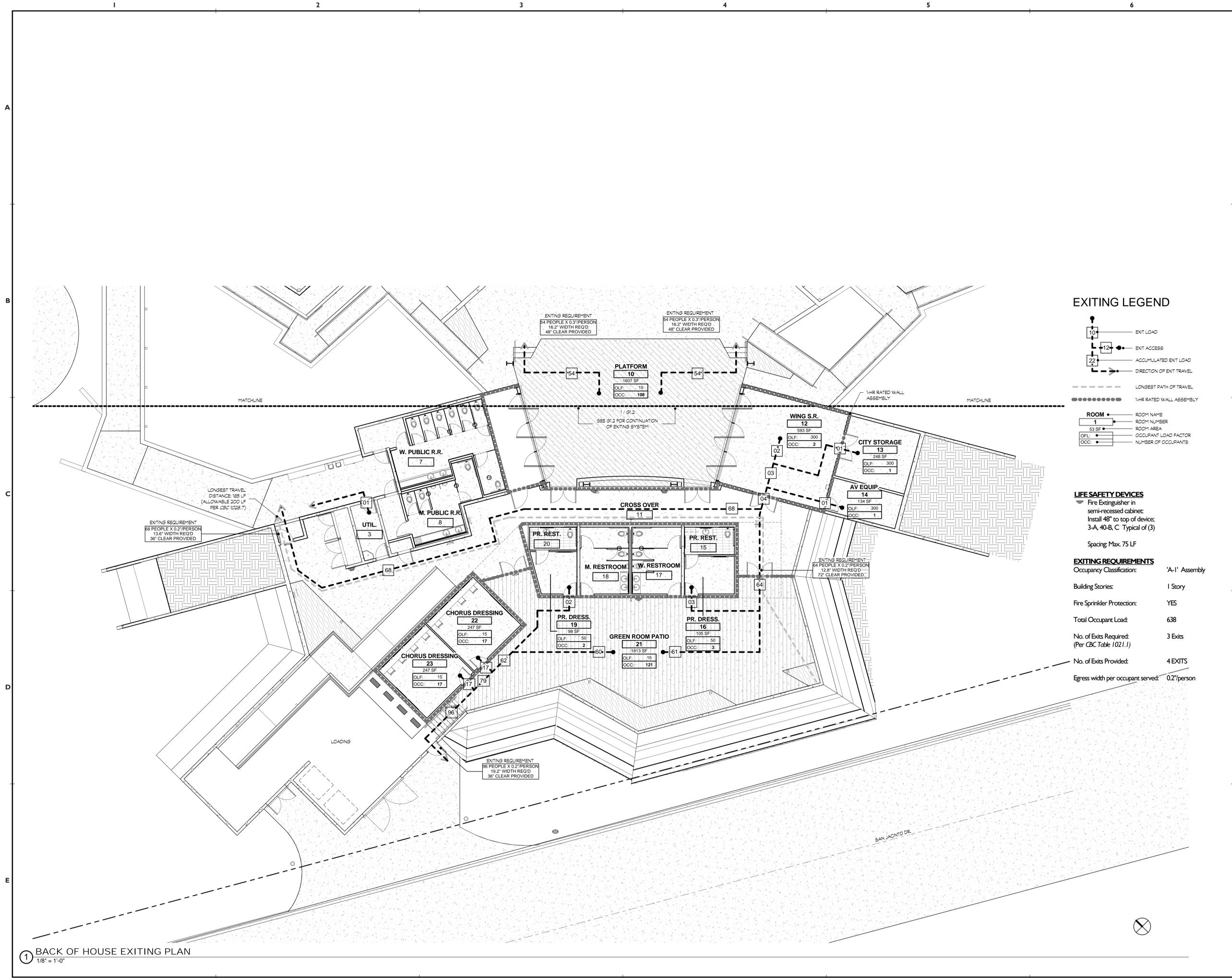
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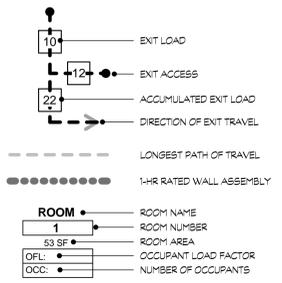
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EXITING LEGEND



LIFE SAFETY DEVICES

Fire Extinguisher in semi-recessed cabinet; Install 48" to top of device; 3-A, 40-B, C Typical of (3)
Spacing: Max. 75 LF

EXITING REQUIREMENTS

Occupancy Classification: 'A-1' Assembly
Building Stories: 1 Story
Fire Sprinkler Protection: YES
Total Occupant Load: 638
No. of Exits Required: (Per CBC Table 1021.1) 3 Exits
No. of Exits Provided: 4 EXITS
Egress width per occupant served: 0.21/person

① BACK OF HOUSE EXITING PLAN
1/8" = 1'-0"

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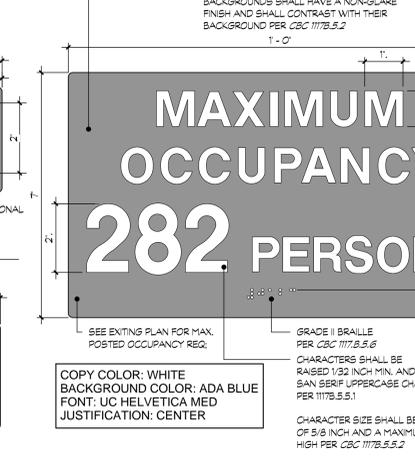
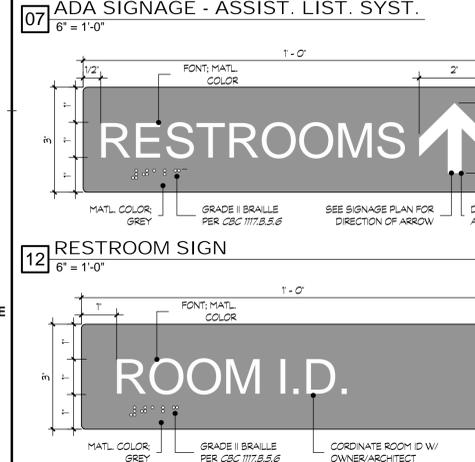
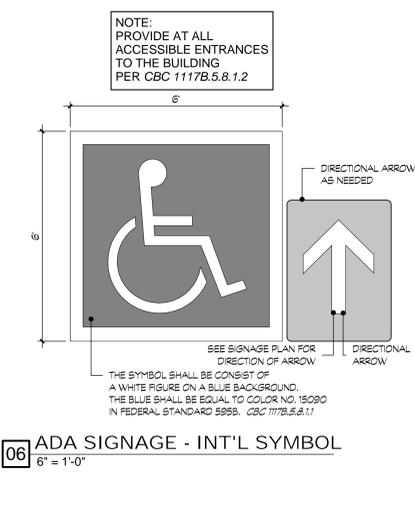
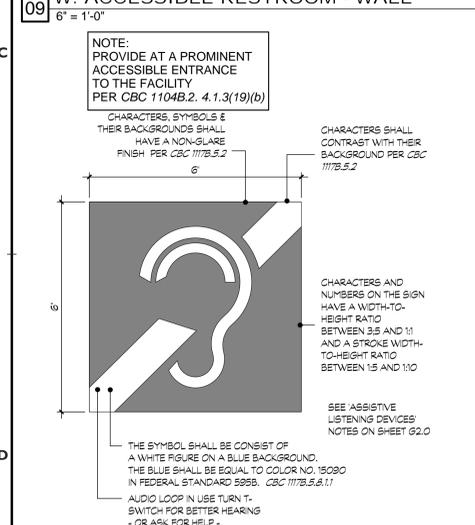
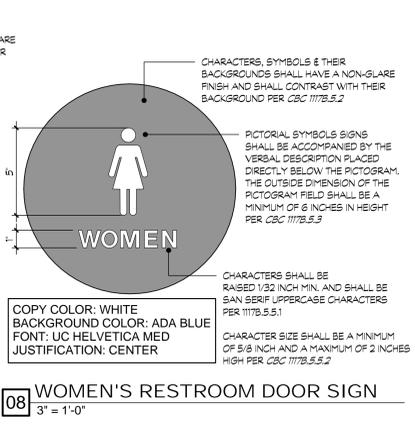
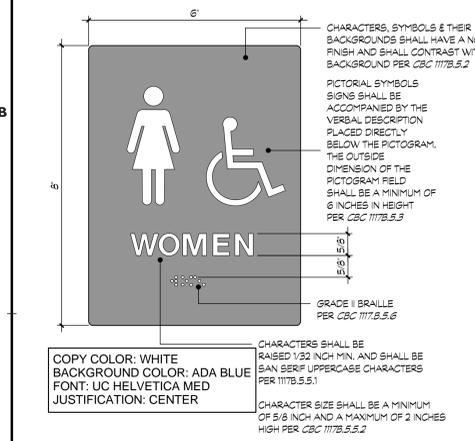
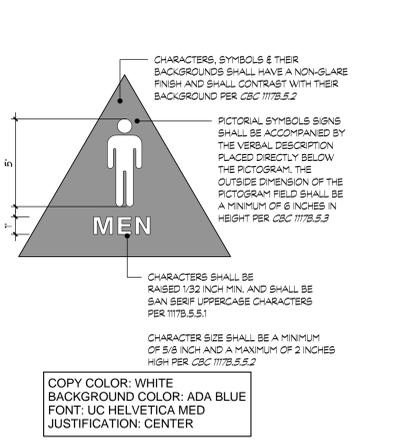
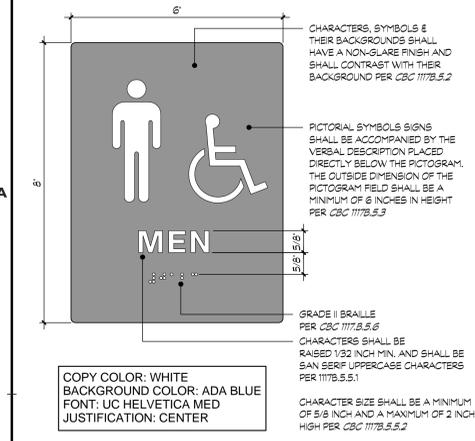
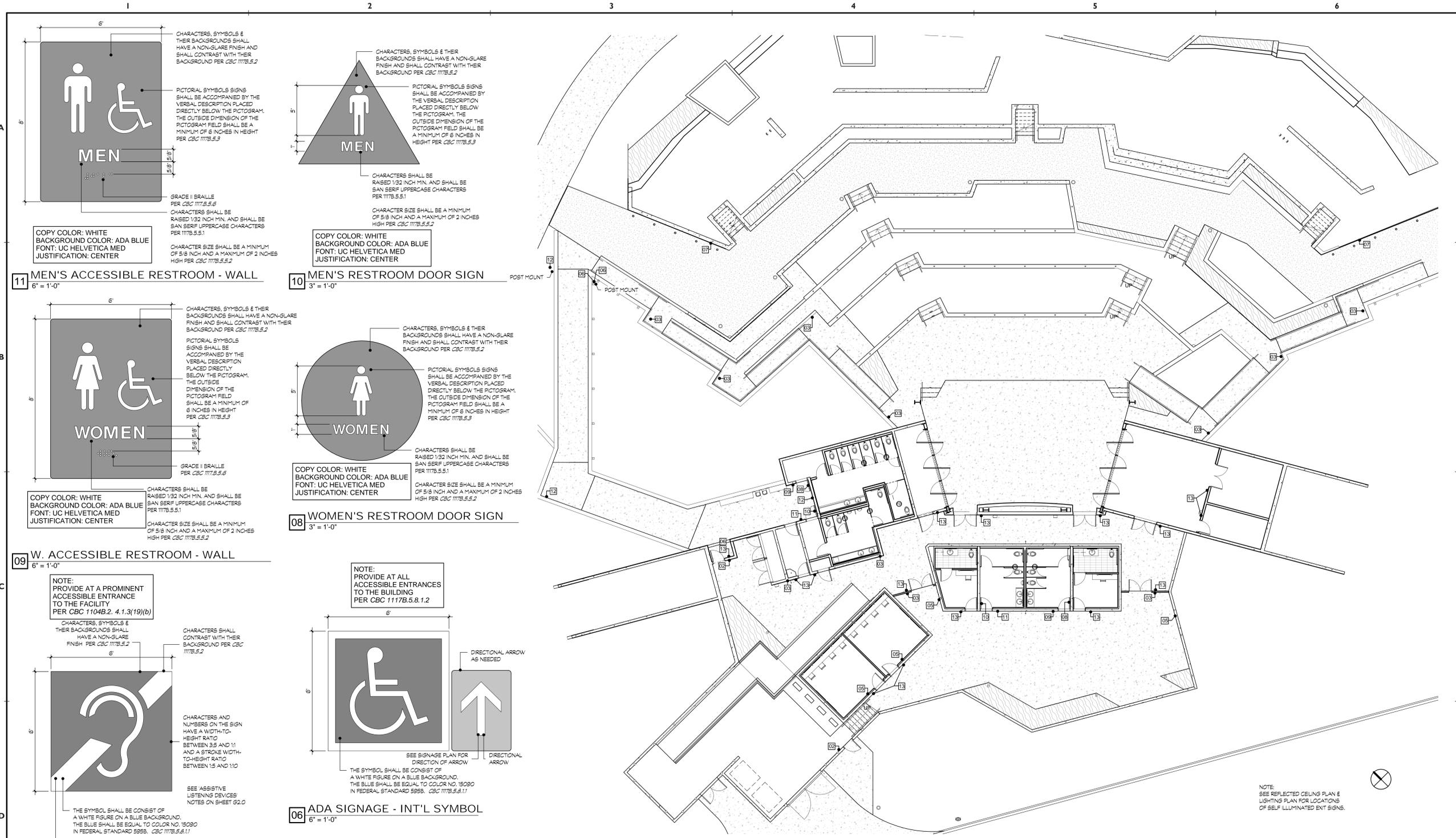
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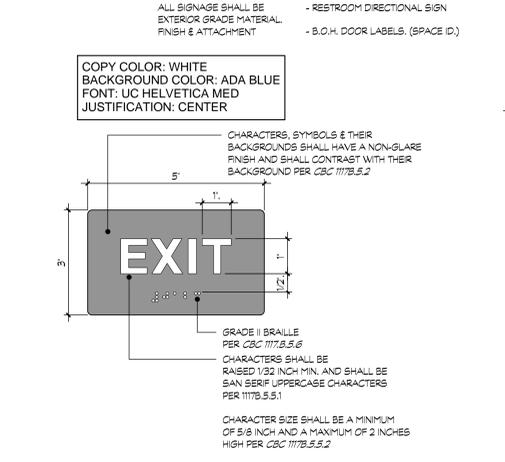
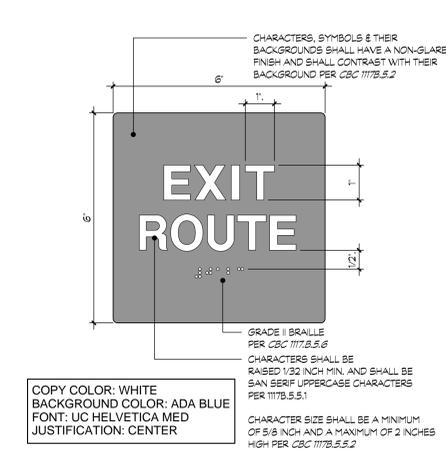
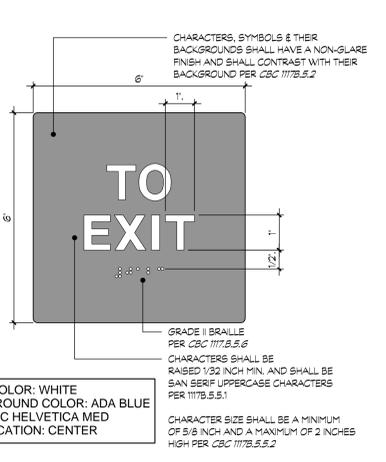
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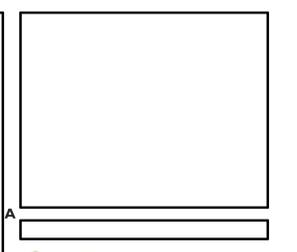


1 SIGNAGE PLAN
3/32" = 1'-0"



NOTE: ALL SIGNAGE SHALL BE EXTERIOR GRADE MATERIAL FINISH & ATTACHMENT. - RESTROOM DIRECTIONAL SIGN - B.O.H. DOOR LABELS. (SPACE ID.)

NOTE: SEE REFLECTED CEILING PLAN & LIGHTING PLAN FOR LOCATIONS OF SELF ILLUMINATED EXIT SIGNS.



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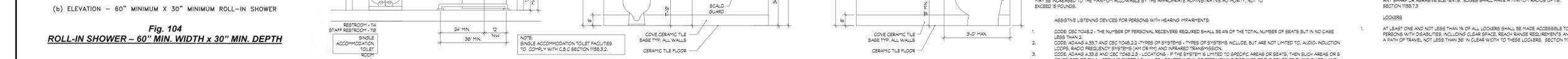
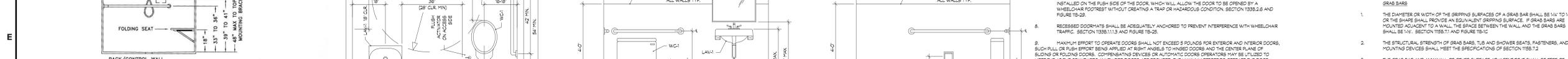
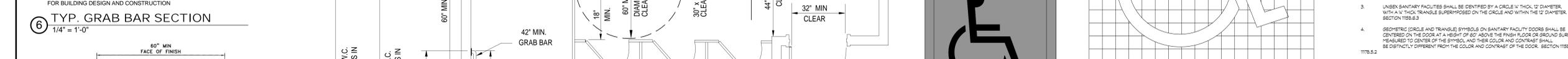
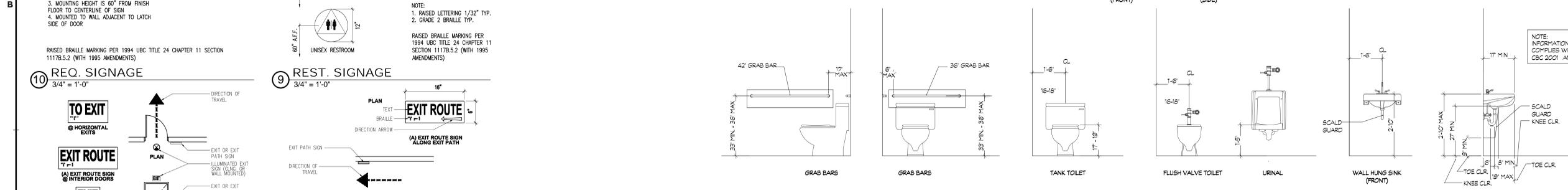
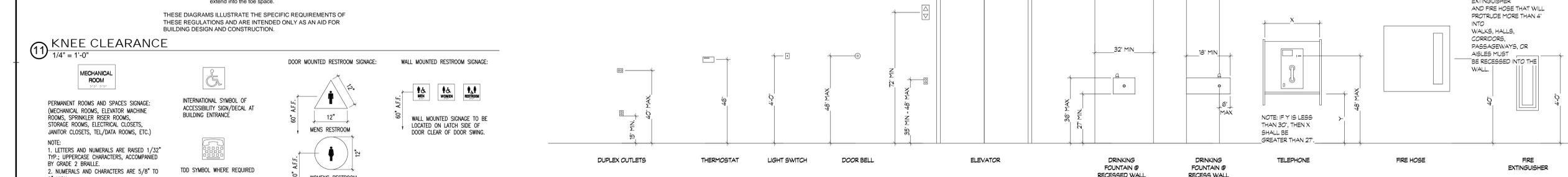
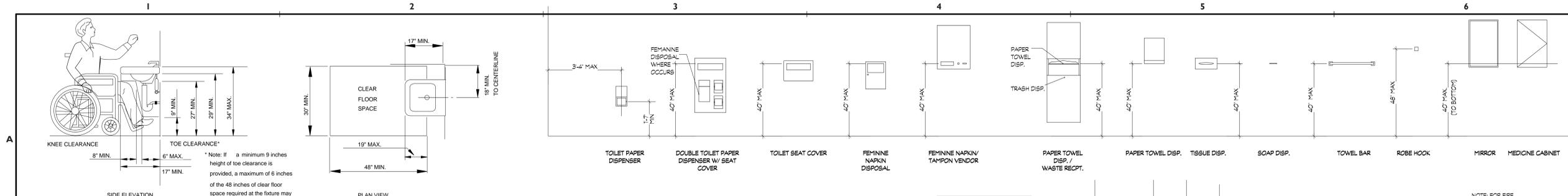
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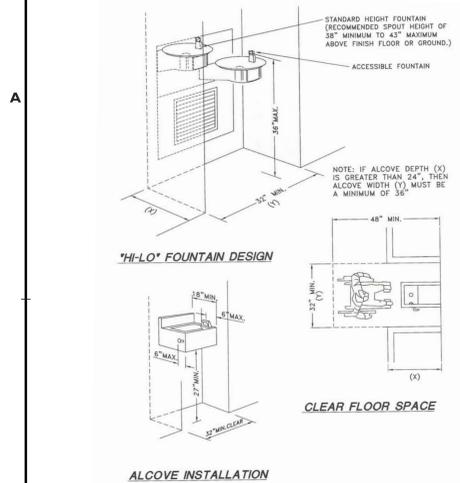


Fig. 71 HI-LO DRINKING FOUNTAINS

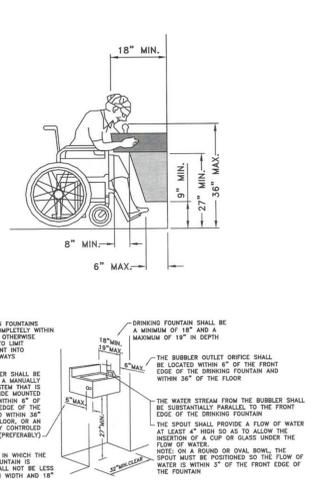
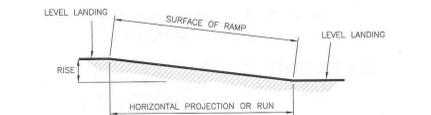


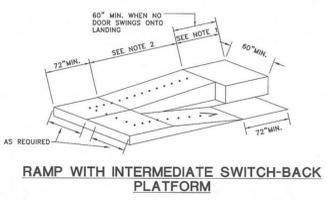
Fig. 70 ACCESSIBLE DRINKING FOUNTAIN



COMPONENTS OF A SINGLE RAMP RUN AND SAMPLE RAMP DIMENSIONS

| SLOPE | MAXIMUM RISE | MAXIMUM LENGTH |
|-------|--------------------|----------------------|
| 1:12 | 30 INCHES (762 mm) | 30.0 FEET (9144 mm) |
| 1:13 | 30 INCHES (762 mm) | 32.5 FEET (9906 mm) |
| 1:14 | 30 INCHES (762 mm) | 35.0 FEET (10668 mm) |
| 1:15 | 30 INCHES (762 mm) | 37.5 FEET (11430 mm) |
| 1:16 | 30 INCHES (762 mm) | 40.0 FEET (12192 mm) |
| 1:17 | 30 INCHES (762 mm) | 42.5 FEET (12954 mm) |
| 1:18 | 30 INCHES (762 mm) | 45.0 FEET (13716 mm) |
| 1:19 | 30 INCHES (762 mm) | 47.5 FEET (14478 mm) |

Fig. 33



RAMP WITH INTERMEDIATE SWITCH-BACK PLATFORM

LESS THAN 30 DEGREE ANGLE



30 DEGREE OR GREATER ANGLE

Fig. 35 RAMP DIMENSIONS

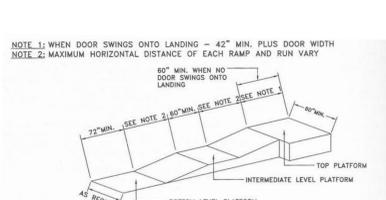


Fig. 34-A STRAIGHT RAMP RUN

Fig. 34-B RAMP WITH TURNING PLATFORM (WHEN DIRECTION OF RAMP CHANGES 30 DEGREES OR MORE)

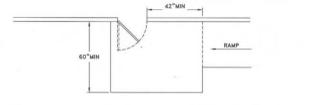


Fig. 36 ENCROACHMENT OF DOORS ONTO RAMPS

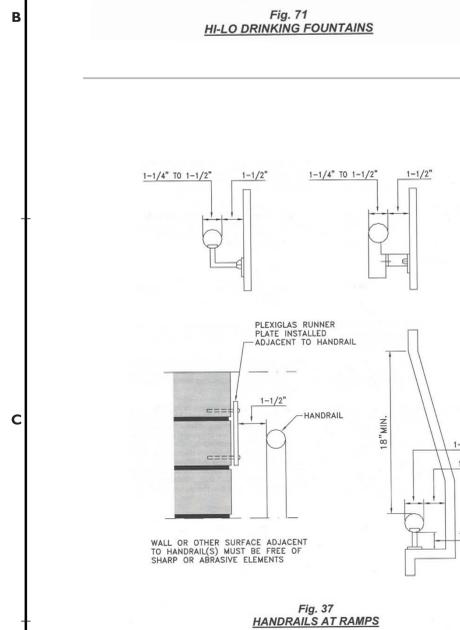


Fig. 37 HANDRAILS AT RAMPS

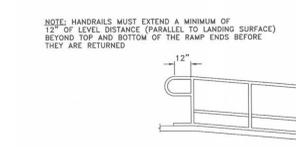


Fig. 38 HANDRAILS AT RAMPS

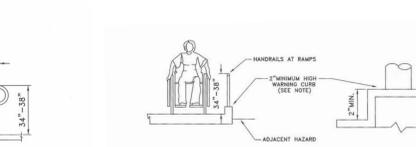


Fig. 39 EDGE PROTECTION ON PEDESTRIAN RAMPS (WARNING CURBS AND GUIDE RAILS)



Fig. 40 SIDEWALK OBSTRUCTIONS

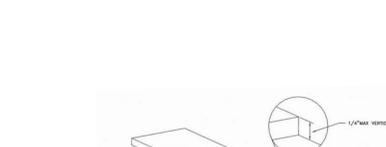


Fig. 41-A MAXIMUM VERTICAL ALLOWANCES

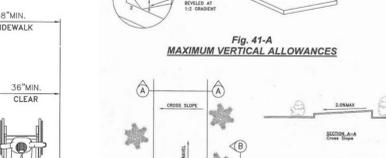


Fig. 41-B ALLOWABLE SLOPE AND CROSS-SLOPE

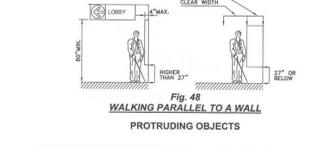


Fig. 42 WALKING PARALLEL TO A WALL

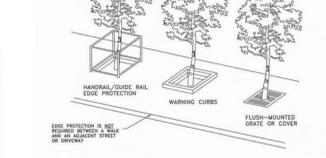


Fig. 43 OVERHEAD OBSTRUCTIONS / HAZARDS

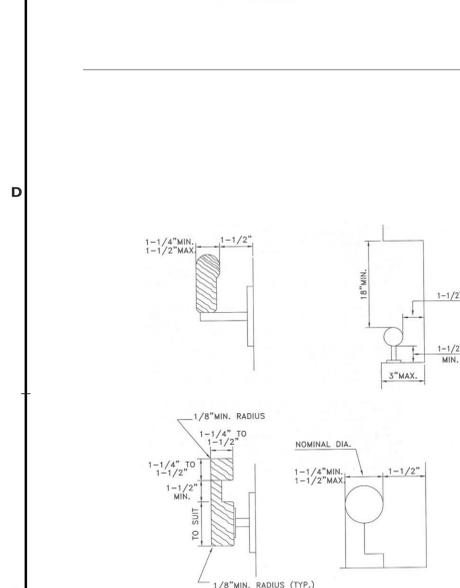


Fig. 51 STAIR HANDRAILS

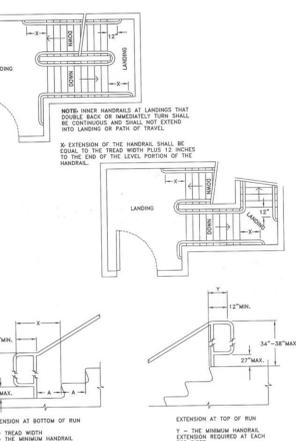


Fig. 52 HANDRAIL EXTENSIONS AT STAIRWAYS

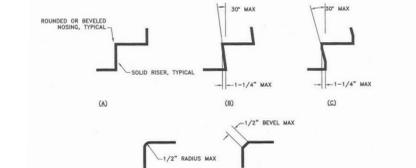


Fig. 53-A USABLE TREAD WIDTH AND EXAMPLES OF ACCEPTABLE NOSING

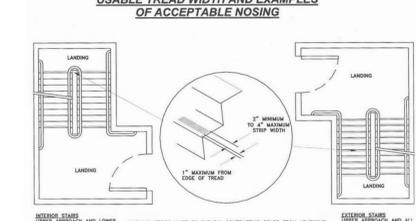


Fig. 53-B VISUALLY IMPAIRED WARNING STRIPING

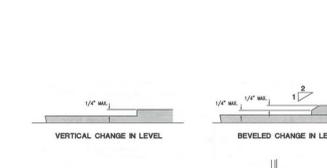


Fig. 54 THRESHOLDS AT DOORWAYS

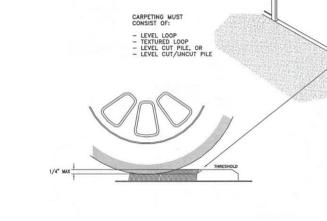


Fig. 55 THRESHOLDS AT DOORWAYS

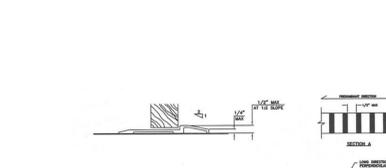


Fig. 55-A THRESHOLD/CARPET EDGES

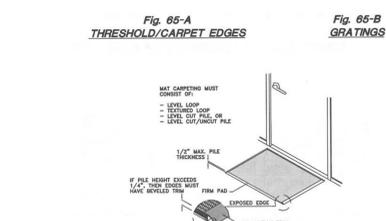


Fig. 55-B GRATINGS

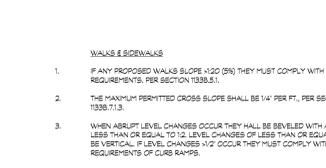


Fig. 55-C CARPET/CARPET TILES



Fig. 51 STAIR HANDRAILS

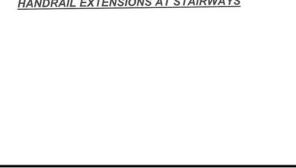


Fig. 52 HANDRAIL EXTENSIONS AT STAIRWAYS

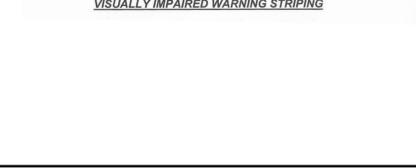


Fig. 53-A USABLE TREAD WIDTH AND EXAMPLES OF ACCEPTABLE NOSING

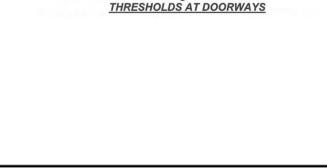


Fig. 53-B VISUALLY IMPAIRED WARNING STRIPING

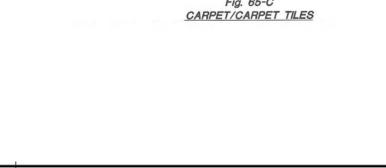


Fig. 54 THRESHOLDS AT DOORWAYS



Fig. 55-A THRESHOLD/CARPET EDGES

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DRAWING DATE: 09-02-2014

REVISIONS:

ISSUE DATES:

PLANNING/SUBMITTAL SET
DESIGN DEVELOPMENT SET
DESIGN CHECK SET
PERMIT SET
BID SET
CONSTRUCTION SET

DRAWN BY: MR
CHECKED BY: McA
McA PROJECT NO: 13-007

Rancho Mirage Community Park Expansion & Amphitheater Project

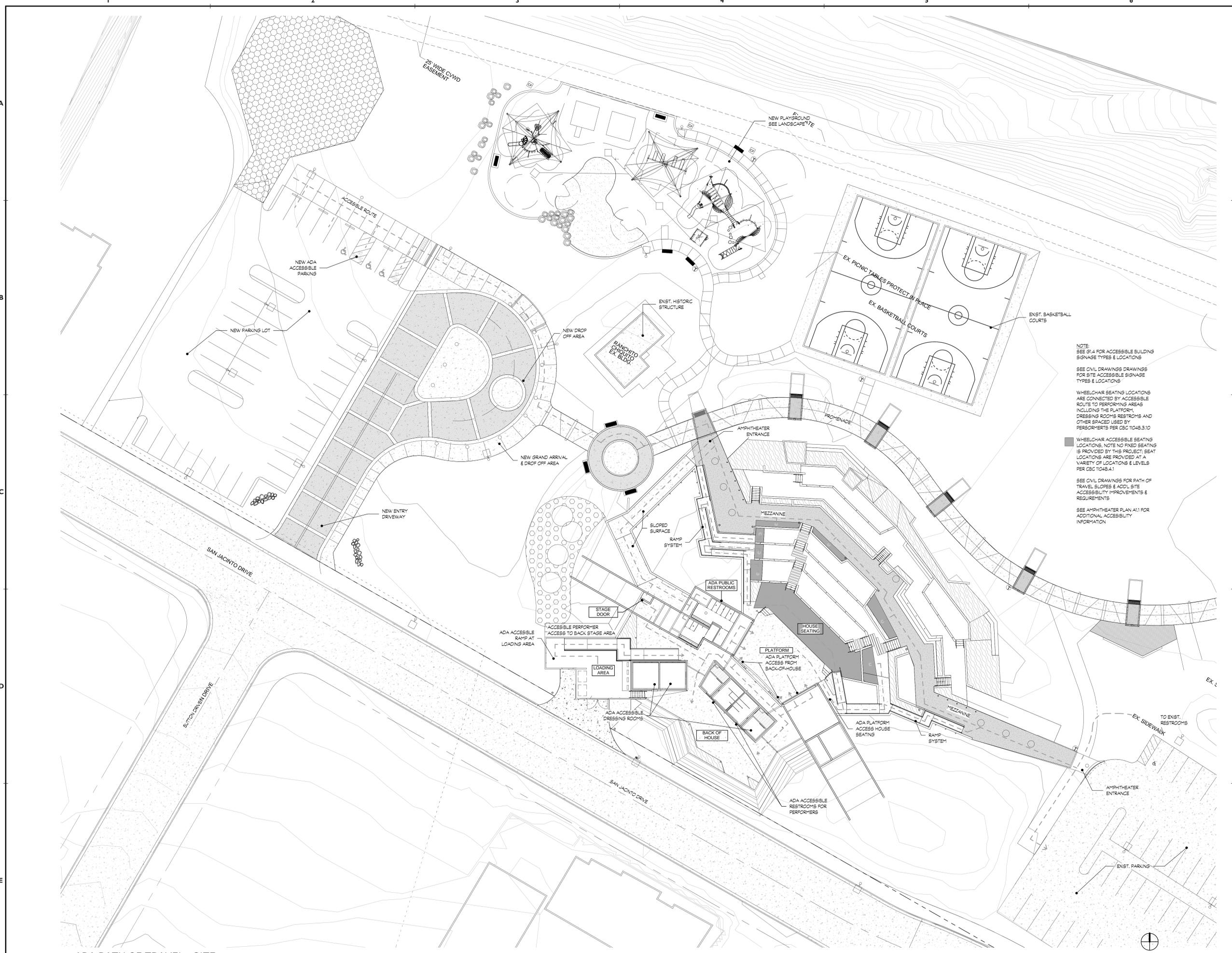
CP 12-284
71-560 San Jacinto Dr
Rancho Mirage, CA 92270

for
The City of Rancho Mirage
69-825 Highway 111
Rancho Mirage, CA 92270

760.324.4511

SHEET TITLE: ADA SITE ACCESSIBILITY REQUIREMENTS
SHEET NUMBER: G2.1

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1 ADA PATH OF TRAVEL - SITE
1" = 20'-0"

NOTE:
SEE 61.4 FOR ACCESSIBLE BUILDING SIGNAGE TYPES & LOCATIONS
SEE CIVIL DRAWINGS FOR SITE ACCESSIBLE SIGNAGE TYPES & LOCATIONS
WHEELCHAIR SEATING LOCATIONS ARE CONNECTED BY ACCESSIBLE ROUTE TO PERFORMING AREAS INCLUDING THE PLATFORM, DRESSING ROOMS, RESTROOMS AND OTHER SPACES USED BY PERFORMERS PER CBC 104B.3.10
WHEELCHAIR ACCESSIBLE SEATING LOCATIONS, NOTE NO FIXED SEATING IS PROVIDED BY THIS PROJECT; SEAT LOCATIONS ARE PROVIDED AT A VARIETY OF LOCATIONS & LEVELS PER CBC 104B.4.1
SEE CIVIL DRAWINGS FOR PATH OF TRAVEL, SLOPES & ADDL. SITE ACCESSIBILITY IMPROVEMENTS & REQUIREMENTS
SEE AMPHITHEATER PLAN A11 FOR ADDITIONAL ACCESSIBILITY INFORMATION

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| DRAWING DATE: 09-02-2014 | |
| REVISIONS: | |
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| ISSUE DATES: | |
| <input type="checkbox"/> PLANNING SUBMITTAL SET | DRAWN BY: |
| <input type="checkbox"/> DESIGN DEVELOPMENT SET | MR |
| <input checked="" type="checkbox"/> 12.30.2013 | CHECKED BY: |
| <input type="checkbox"/> PLANCHUCK SET | McA |
| <input type="checkbox"/> PERMIT SET | |
| <input type="checkbox"/> BID SET | McA PROJECT NO: |
| <input checked="" type="checkbox"/> 09.02.2014 | 13-007 |
| <input type="checkbox"/> CONSTRUCTION SET | |

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Rancho Mirage, CA 92270

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ADA PATH OF TRAVEL - SITE

SHEET NUMBER:



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